

## **REQUIRED MATERIALS FOR POOL PERMITS**

The following materials shall be submitted and reviewed by the Johnson County Planning & Zoning Department PRIOR to the approval of a residential building permit. If any of the materials are absent, the building permit **WILL NOT BE ISSUED** until all the required materials are submitted. Depending upon your project, not all of these items may be required.

### **IT CAN TAKE UP TO 7-10 BUSINESS DAYS FOR REVIEW DEPENDING ON THE WORKLOAD OF THE DEPARTMENT**

- **A Current Contractor Listing:** If the contractor is pulling the permit, they must be listed with the County.
- **A Signed & Notarized Contractor Listing Exemption Affidavit:** If the homeowner is pulling the permit.
- A completed, signed and dated **application form:**  
Also available on the Johnson County Planning & Zoning website
- **A Sub-Contractor Sign-off Sheet:** Stating who will be constructing the retaining wall  
(if applicable - if not write N/A)
- **A Sub-Contractor Signoff Sheet:** Stating who will be doing the electrical/bonding work.
- **Septic Approval:** Available from the Johnson County Health Department (317-346-4365)  
(If this property is on septic you MUST receive approval that the pool is far enough from the septic)
- **A Driveway verification** of an existing driveway - available from the Johnson County Highway Department (317-346-4630)
- One copy of the **recorded deed** for the property (with Recorder's Stamp),  
available from the Johnson County Recorder's Office (317-346-4385)
- **Two** copies of the **site plan** to **SCALE** showing: (see attached example)
  - ➡ All Property lines & streets
  - ➡ The location and size of all existing and proposed structures
  - ➡ The distance from each structure to the property lines and distance to the rights-of-way line
  - ➡ The location of the septic field (if applicable)
  - ➡ The location of all existing and proposed driveways
  - ➡ The location of all drainage, utility, and road easements located on the property
  - ➡ Drainage and spot elevations
  - ➡ An arrow indicating North
- **Two** copies of the **building plans** drawn to **SCALE:** These shall include: (see attached examples)
  - ➡ **1** Elevations (front, back, both sides)
  - ➡ **2** Layout of the pool
  - ➡ **3** Auto Cover or Fence around pool (also include height of fence)
  - ➡ **4** Locking Ladder detail (above ground)
- **Storm Water Permit:** (Not required for above ground pools)
  - ➡ Completed, and signed Storm Water Application
  - ➡ **2 copies** Storm Water Pollution Prevention Plan (SWPPP) (see example in packet)  
(site plan with location of structure and all required erosion information added)



Johnson County Department of Planning & Zoning  
Residential Building Permit Application

**LOCATION OF WORK:**

Address: \_\_\_\_\_

City/Zip: \_\_\_\_\_

Township: \_\_\_\_\_

Subdivision: \_\_\_\_\_

Section: \_\_\_\_\_ Lot #: \_\_\_\_\_

**CONTRACTOR:** (only fill this section out,

if you are a listed contractor) (if you are the homeowner  
pulling permit, just write HOMEOWNER)

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Telephone #1: \_\_\_\_\_

Telephone #2: \_\_\_\_\_

Email: \_\_\_\_\_

How would you like to be notified when the permit

is ready?(please circle one) Phone or Email

**PROPERTY OWNER(S):**

Name(s): \_\_\_\_\_

Address: \_\_\_\_\_

City/Zip: \_\_\_\_\_

Telephone #1: \_\_\_\_\_

Telephone #2: \_\_\_\_\_

Email: \_\_\_\_\_

How would you like to be notified when the permit

is ready?(please circle one) Phone or Email

*I Certify the information contained on this form, and the plans  
submitted are complete and accurate under the penalties of  
Perjury. I will be responsible for all applicable laws and ordinances,  
and understand that approval of plans and the issuance of a permit  
**DOES NOT** obviate the need to comply with these laws and ordinances.  
I agree to hold harmless and indemnify Johnson County, Indiana for any  
losses, claims, or liability resulting from the undersigned, principal,  
sub-contractor, or supplier's errors of omission and/or commission.*

NOTE: Your project may increase septic system requirements.

**NATURE OF WORK:**

☐ Addition \_\_\_\_\_

☐ Barn/Shed/Pool House \_\_\_\_\_

☐ Deck \_\_\_\_\_

☐ Garage \_\_\_\_\_

☐ Pool: ☐ In Ground ☐ Above Ground ☐ Hot Tub/Spa

Framing Type: \_\_\_\_\_

Automatic Cover or Fence? \_\_\_\_\_

☐ Remodel \_\_\_\_\_

☐ Single Family Residence

**INTENDED USE OF STRUCTURE:** (check one)

☐ Residential:

Items Stored: \_\_\_\_\_

Note – item stored is only required for barns/sheds

☐ Agricultural:

Acreage: \_\_\_\_\_

Items Stored: \_\_\_\_\_

Note – item stored is only required for barns/sheds

Model Home: \_\_\_\_\_

**CONSTRUCTION DETAILS:**

Approx. Value of Construction: \$ \_\_\_\_\_

Total Floor Area (everything under roof): \_\_\_\_\_ sq. feet

Height to Peak (lowest to highest point) \_\_\_\_\_

Number of Stories: \_\_\_\_\_

Number of Bedrooms: \_\_\_\_\_ Bathrooms: \_\_\_\_\_

Full Basement: ☐ Yes ☐ No

Partial Basement: ☐ Yes ☐ No

If yes, (please mark) ☐ Finished ☐ Unfinished

Advanced Structural Component(s) Being Used Yes/No

Mark Which Components: (circle one)

☐ I-Joists Floor System Components

☐ I-Joists Truss System Components

(Please indicate if you are using lightweight I-joists or lightweight roof trusses.)

**OTHER DETAILS:**

Sewer Permit: \_\_\_\_\_

(Please enter the city, and also include a copy of the permit)

Septic Permit #: \_\_\_\_\_

(Please enter the Septic Permit #, and include a copy of the permit)

Water: \_\_\_\_\_

(Please enter the city, and also include a copy of the permit)

Driveway Permit #: \_\_\_\_\_

Signature of Applicant

Printed/Typed Name

Date

**DEPARTMENT USE ONLY**

Date Received: \_\_\_\_\_

Time Received: \_\_\_\_\_

Parcel #: 41- \_\_\_\_\_

Section: \_\_\_\_\_

Township: \_\_\_\_\_

Range: \_\_\_\_\_

Zoning: \_\_\_\_\_

Permit #: \_\_\_\_\_

Permit Fee: \_\_\_\_\_

Receipt #: \_\_\_\_\_

Cash: \_\_\_\_\_ Credit: \_\_\_\_\_ Check #: \_\_\_\_\_

Date Released: \_\_\_\_\_

Contractor Listing #: \_\_\_\_\_

Current? Yes ☐ No ☐

Plan Commission/BZA/Variance Hearing Officer approval needed?

Yes ☐No ☐

Case #: \_\_\_\_\_

Approval Date: \_\_\_\_\_

**SWPPP/Stormwater Review:**FEMA Flood Hazard: ☐ Yes ☐ No

F.I.R.M.#: \_\_\_\_\_

Localized Flood: ☐ Yes ☐ No

MEPG: Rear = \_\_\_\_\_ Front = \_\_\_\_\_

SWPPP/Stormwater Approved: \_\_\_\_\_

SWPPP/Stormwater Denied: \_\_\_\_\_

By: \_\_\_\_\_

Stormwater Permit #: \_\_\_\_\_

**Site Plan Review:**Open Violations: ☐ No

Variance, Special Exception, Rezoning:

All applicable conditions, commitments, etc. met:

☐ Yes ☐ NA

If in plat, all setback requirements, easements, and miscellaneous requirements met:

☐ Yes ☐ NAIf **not** in plat, lot dimension requirements met or original lot of record:☐ Yes ☐ NASetback & Height requirements met: ☐ Yes

Site Plan Approved: \_\_\_\_\_ By: \_\_\_\_\_

**Primary Residential Structure**LUV approved: ☐ YesAccessory Apartment: ☐ No**Accessory Structure**Living quarters: ☐ No*Agricultural Zone **or** for Agricultural Use*Under 50 ft. in height in A-1 **or** less than 35 ft in height residential zone: ☐ Yes*Residential Zone **and** for Residential Use*Less than height of house: ☐ YesProposed Structure + Existing Accessory Structures less than 50% sq.ft. of house: ☐ Yes**Addition/ Interior Remodel or Repair (primary structure)**Living quarters: ☐ No**Pool** - Automatic Cover **or** 4 foot fence: ☐ Yes**Building Plan Review:**

Square Footage Calculation:

_____	1 <sup>st</sup> Floor
+ _____	2 <sup>nd</sup> Floor
+ _____	Basement
+ _____	Bonus Room
+ _____	Porch
+ _____	Garage
= _____	<b>Total</b>
	x.10/square foot
= _____	<b>Total</b>

Building Plans Approved: \_\_\_\_\_

Building Plans Denied: \_\_\_\_\_

By: \_\_\_\_\_

# CONTRACTOR LISTING EXEMPTION AFFIDAVIT

I \_\_\_\_\_, do hereby state that as of this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ that I am now, and will continue to perform and assume all the responsibilities of and conduct all activity normally performed by a general contractor for the construction of; an addition to; remodeling or renovation of the structure which I intend to or do now occupy. I understand that by executing this document I am assuming any and all legal responsibilities for conforming to all the laws, ordinances, rules and regulations enacted or adopted by Johnson County, Indiana, the State of Indiana, and the United States of America, which pertain to construction, remodeling or renovation of structures in Johnson County, Indiana. This responsibility includes the payment of pertinent fines, fees or penalties.

I HEREBY AFFIRM, UNDER PENALTIES OF PERJURY, THAT THE FOREGOING REPRESENTATIONS ARE TRUE AND CORRECT.

**Signature of Applicant**

Printed name of Applicant

State of Indiana )  
 ) SS:  
County of \_\_\_\_\_ )

SUBSCRIBED AND SWORN TO BEFORE ME, a notary public,  
on this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

Signature of Notary Public

My Commission Expires: \_\_\_\_\_

Printed name of Notary Public

Residing in: \_\_\_\_\_ County, Indiana

Johnson County Department of Planning & Zoning  
Sub-Contractor Sign-Off Sheet

To all concerned: the submission of drawings for plan review are to consist of:

**Structural:** Foundation drawings; floor plans w/ dimensions and room names; wall section; roof framing detail or stamped truss drawings. (These plans are mandatory and may not be omitted)

**Electrical:** Outlet and switch locations, smoke detectors, panel and meter base locations, ceiling fans and lighting fixtures.

**Plumbing:** A basic plumbing schematic of the drain, waste, and venting system.

**HVAC:** A drawing showing the locations of the return and supply air grills and their sizes, plus the location of the HVAC Equipment

Electrical Sub-Contractor: \_\_\_\_\_

Address: \_\_\_\_\_

Contact Number: \_\_\_\_\_

Email: \_\_\_\_\_

☐ Will be performing the work

☐ Will be overseeing the work

Plumbing Sub-Contractor: \_\_\_\_\_

Address: \_\_\_\_\_

Contact Number: \_\_\_\_\_

Email: \_\_\_\_\_

License #: \_\_\_\_\_

☐ Will be performing the work

☐ Will be overseeing the work

HVAC Sub-Contractor: \_\_\_\_\_

Address: \_\_\_\_\_

Contact Number: \_\_\_\_\_

Email: \_\_\_\_\_

☐ Will be performing the work

☐ Will be overseeing the work

Project Address: \_\_\_\_\_

Permit Holder: \_\_\_\_\_

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

By signing above, I hereby affirm that all work performed shall be applicable to the codes enforce with the State of Indiana and the County of Johnson. I have received this form in lieu of submitting requested drawings or schematics for plan review.

Sub-Contractor Sign-Off Sheet

updated 5-1-19

**Johnson County Department of Planning & Zoning  
Sub-Contractor Sign-Off Sheet**

To all concerned: This information is REQUIRED from whomever is constructing the retaining wall, REGARDLESS if work is subcontracted by the Pool Company or the homeowner.

Any illicit discharge from the construction of the retaining wall will result in a fine from the Department of Planning & Zoning. The fine will be levied to the sub-contractor constructing the wall HOWEVER if the fine is not paid within the allotted time from the department, the building permit WILL NOT receive a final inspection. As a result further fines could be levied to the pool contractor and/or homeowner.

Sub-Contractor: _____	
Address: _____ _____	
Office Phone Number: _____	Fax Number: _____
Contact Name: _____	Contact Number: _____
Email: _____	
<input type="checkbox"/> Will be performing the work	<input type="checkbox"/> Will be overseeing the work

Project Address: \_\_\_\_\_

Permit Holder: \_\_\_\_\_

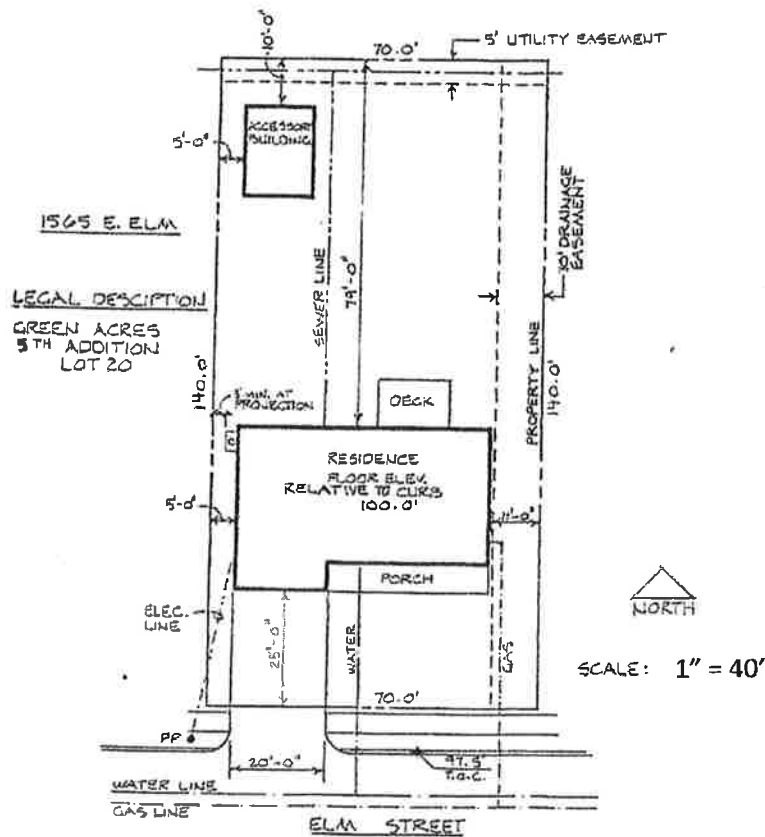
\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

By signing above, I hereby affirm that all work performed shall be applicable to the codes and ordinances enforced by the State of Indiana and the County of Johnson. I have received this form in lieu of submitting requested drawings or schematics for plan review.

## SAMPLE SITE PLAN

JOHNSON COUNTY DEPARTMENT OF PLANNING AND ZONING



*(see reverse side for full-size site plan)*

### NOTES

- Include all site structures, existing and proposed. NOTE: Approved variances and special exceptions are usually granted subject to substantial compliance with a final site plan. So, be aware that you will be "locked into" your submitted site plan with regard to future site use and development.
- Label important dimensions. For example, if you're requesting a variance for the side setback of a shed, label that setback
- Show curb cuts, access drives, parking areas, easements, sidewalks, adjoining rights-of-way and any other important features
- Include a North arrow
- Must be drawn to scale... usually 1"=10', 1"=20', 1"=30', 1"=40', 1"=50' or 1"=60'
- Site plans are always required for all variance and special exception petitions, but are not generally required for rezoning petitions.