

## **REQUIRED MATERIALS FOR RESIDENTIAL BUILDING PERMITS**

The following materials shall be submitted and reviewed by the Johnson County Planning & Zoning Department PRIOR to the approval of a residential building permit. If any of the materials are absent, the building permit **WILL NOT BE ISSUED** until all the required materials are submitted. Depending upon your project, not all of these items may be required.

**IT CAN TAKE UP TO 7-10 BUSINESS DAYS FOR REVIEW DEPENDING ON THE WORKLOAD OF THE DEPARTMENT**

- **A Current Contractor Listing:** If the contractor is pulling the permit, they must be listed with the County.
- **A Signed & Notarized Contractor Listing Exemption Affidavit:** If the homeowner is pulling the permit.
- A completed, signed and dated **application form:** Also available on the Johnson County Planning & Zoning website
- **A Sub-Contractor Sign-off Sheet:** Stating who will be performing or overseeing the Electrical, Plumbing, and HVAC work
- **A Septic Permit:** Available from the Johnson County Health Department (317-346-4365)
- **A Sewer Permit** available from: (if applicable)  
Bargersville (317-422-5115), Franklin (317-736-3631), Greenwood (317-887-5232), New Whiteland (317-535-4664),  
Nineveh Conservancy District (317-933-5916), Princes Lakes (317-933-2163), Trafalgar (317)878-5194),  
Whiteland (317-535-5531)
- **A Driveway Permit** or **verification** of an existing driveway - available from the Highway Department (317-346-4630)
- One copy of the **recorded deed** for the property (with Recorder's Stamp),  
available from the Johnson County Recorder's Office (317-346-4385)
- **Two** copies of the **site plan** to **SCALE** showing: (see attached example)
  - ➔ All Property lines & streets
  - ➔ The location and size of all existing and proposed structures
  - ➔ The distance from each structure to the property lines and distance to the rights-of-way line
  - ➔ The location of the septic field (if applicable)
  - ➔ The location of all existing and proposed driveways
  - ➔ The location of all drainage, utility, and road easements located on the property
  - ➔ Drainage and spot elevations ➔ An arrow indicating North
- **Two** copies of the **building plans** drawn to **SCALE:** The set of building plans shall include: (see attached examples)

<b>1</b> Elevations (front, back, both sides)	<b>6</b> Mechanical Drawings
<b>2</b> Wall Section	<b>7</b> Plumbing Drawings
<b>3</b> Foundation Plan	<b>8</b> Electrical Drawings
<b>4</b> Floor Plan	<b>9</b> Specifications for engineered products (if sub contractors used)
<b>5</b> Window/Door Framing Detail	<b>(NOTE: Sub-Contractors info must be provided)</b>
- One copy of the **Truss Calculations** with a **REGISTERED INDIANA ARCHITECT OR ENGINEER'S SEAL**,  
If trusses are to be used in the project (available from your truss supplier)
- **Storm Water Permit:**
  - Completed, and signed Storm Water Application
  - ➔ **2 copies** Storm Water Pollution Prevention Plan (SWPPP) (see example in packet)
  - ➔ (site plan with location of structure and all required erosion information added)
- **Energy Code Compliance** (Performance or Prescriptive)
- If applicable an address will be determined for the property 30-45 days after the permit is issued.

# LAND USE VERIFICATION FORM

JOHNSON COUNTY DEPARTMENT OF PLANNING AND ZONING

## ***Applicant Information:***

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City, State Zip Code: \_\_\_\_\_

Phone: \_\_\_\_\_

## ***Please fill out as completely as possible:***

Property Owner: \_\_\_\_\_

Address: \_\_\_\_\_

Subdivision: \_\_\_\_\_ Lot # \_\_\_\_\_

Parcel/Tax ID Number: \_\_\_\_\_

Reason for Review: ☐ Rezoning ☐ Accessory Structure  
☐ Residential Structure ☐ Variance/Special Exception  
☐ Buying Property ☐ Commercial Structure  
☐ Subdivision

I understand that approval of this form by the Johnson County Planning Department ***does not constitute nor guarantee*** the approval of a building permit for the property specified above. I understand that further subdivisions of this property will invalidate this form.

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

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## ***Departmental Use Only: Do Not Write Below This Line:***

Zoning: \_\_\_\_\_ Acreage: \_\_\_\_\_ Notes: \_\_\_\_\_

Section: \_\_\_\_\_ Township: \_\_\_\_\_ Range: \_\_\_\_\_

\_\_\_ Parcel is located in Minor Subdivision: \_\_\_\_\_

\_\_\_ Parcel is a properly split Exempt Subdivision

\_\_\_ Parcel is an original lot of record

\_\_\_ Parcel is buildable due to other reasons

\_\_\_ **Parcel has been created improperly, and CANNOT be issued a permit.**

\_\_\_\_\_  
Signature of Planning Official

\_\_\_\_\_  
Title

\_\_\_\_\_  
Date

## CONTRACTOR LISTING EXEMPTION AFFIDAVIT

I \_\_\_\_\_, do hereby state that as of this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ that I am now, and will continue to perform and assume all the responsibilities of and conduct all activity normally performed by a general contractor for the construction of; an addition to; remodeling or renovation of the structure which I intend to or do now occupy. I understand that by executing this document I am assuming any and all legal responsibilities for conforming to all the laws, ordinances, rules and regulations enacted or adopted by Johnson County, Indiana, the State of Indiana, and the United States of America, which pertain to construction, remodeling or renovation of structures in Johnson County, Indiana. This responsibility includes the payment of pertinent fines, fees or penalties.

I HEREBY AFFIRM, UNDER PENALTIES OF PERJURY, THAT THE FOREGOING REPRESENTATIONS ARE TRUE AND CORRECT.

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Printed name of Applicant

State of Indiana                    )  
  ) SS:  
County of \_\_\_\_\_            )

SUBSCRIBED AND SWORN TO BEFORE ME, a notary public,  
on this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

\_\_\_\_\_  
Signature of Notary Public

My Commission Expires: \_\_\_\_\_

\_\_\_\_\_  
Printed name of Notary Public

Residing in: \_\_\_\_\_ County, Indiana



Johnson County Department of Planning & Zoning  
Residential Building Permit Application

**LOCATION OF WORK:**

Address: \_\_\_\_\_

City/Zip: \_\_\_\_\_

Township: \_\_\_\_\_

Subdivision: \_\_\_\_\_

Section: \_\_\_\_\_ Lot #: \_\_\_\_\_

**CONTRACTOR:** (only fill this section out,

if you are a listed contractor) (if you are the homeowner  
pulling permit, just write HOMEOWNER)

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Telephone #1: \_\_\_\_\_

Telephone #2: \_\_\_\_\_

Email: \_\_\_\_\_

How would you like to be notified when the permit

is ready?(please circle one) Phone or Email

**PROPERTY OWNER(S):**

Name(s): \_\_\_\_\_

Address: \_\_\_\_\_

City/Zip: \_\_\_\_\_

Telephone #1: \_\_\_\_\_

Telephone #2: \_\_\_\_\_

Email: \_\_\_\_\_

How would you like to be notified when the permit

is ready?(please circle one) Phone or Email

*I Certify the information contained on this form, and the plans  
submitted are complete and accurate under the penalties of  
Perjury. I will be responsible for all applicable laws and ordinances,  
and understand that approval of plans and the issuance of a permit  
**DOES NOT** obviate the need to comply with these laws and ordinances.  
I agree to hold harmless and indemnify Johnson County, Indiana for any  
losses, claims, or liability resulting from the undersigned, principal,  
sub-contractor, or supplier's errors of omission and/or commission.*

NOTE: Your project may increase septic system requirements.

**NATURE OF WORK:**

☐ Addition \_\_\_\_\_

☐ Barn/Shed/Pool House \_\_\_\_\_

☐ Deck \_\_\_\_\_

☐ Garage \_\_\_\_\_

☐ Pool: ☐ In Ground ☐ Above Ground ☐ Hot Tub/Spa

Framing Type: \_\_\_\_\_

Automatic Cover or Fence? \_\_\_\_\_

☐ Remodel \_\_\_\_\_

☐ Single Family Residence

**INTENDED USE OF STRUCTURE:** (check one)

☐ Residential:

Items Stored: \_\_\_\_\_

Note – item stored is only required for barns/sheds

☐ Agricultural:

Acreage: \_\_\_\_\_

Items Stored: \_\_\_\_\_

Note – item stored is only required for barns/sheds

Model Home: \_\_\_\_\_

**CONSTRUCTION DETAILS:**

Approx. Value of Construction: \$ \_\_\_\_\_

Total Floor Area (everything under roof): \_\_\_\_\_ sq. feet

Height to Peak (lowest to highest point) \_\_\_\_\_

Number of Stories: \_\_\_\_\_

Number of Bedrooms: \_\_\_\_\_ Bathrooms: \_\_\_\_\_

Full Basement: ☐ Yes ☐ No

Partial Basement: ☐ Yes ☐ No

If yes, (please mark) ☐ Finished ☐ Unfinished

Advanced Structural Component(s) Being Used Yes/No

Mark Which Components: (circle one)

☐ I-Joists Floor System Components

☐ I-Joists Truss System Components

(Please indicate if you are using lightweight I-joists or lightweight roof trusses.)

**OTHER DETAILS:**

Sewer Permit: \_\_\_\_\_

(Please enter the city, and also include a copy of the permit)

Septic Permit #: \_\_\_\_\_

(Please enter the Septic Permit #, and include a copy of the permit)

Water: \_\_\_\_\_

(Please enter the city, and also include a copy of the permit)

Driveway Permit #: \_\_\_\_\_

Signature of Applicant

Printed/Typed Name

Date

**DEPARTMENT USE ONLY**

Date Received: \_\_\_\_\_

Time Received: \_\_\_\_\_

Parcel #: 41- \_\_\_\_\_

Section: \_\_\_\_\_

Township: \_\_\_\_\_

Range: \_\_\_\_\_

Zoning: \_\_\_\_\_

Permit #: \_\_\_\_\_

Permit Fee: \_\_\_\_\_

Impact Fee (if applicable): \_\_\_\_\_

Receipt #: \_\_\_\_\_

Cash: \_\_\_\_\_ Credit: \_\_\_\_\_ Check #: \_\_\_\_\_

Date Released: \_\_\_\_\_

Contractor Listing #: \_\_\_\_\_

Current? Yes ☐ No ☐

Plan Commission/BZA/Variance Hearing Officer approval needed?

Yes ☐No ☐

Case #: \_\_\_\_\_

Approval Date: \_\_\_\_\_

**SWPPP/Stormwater Review:**FEMA Flood Hazard: ☐ Yes ☐ No

F.I.R.M.#: \_\_\_\_\_

Localized Flood: ☐ Yes ☐ No

MEPG: Rear = \_\_\_\_\_ Front = \_\_\_\_\_

SWPPP/Stormwater Approved: \_\_\_\_\_

SWPPP/Stormwater Denied: \_\_\_\_\_

By: \_\_\_\_\_

Stormwater Permit #: \_\_\_\_\_

**Site Plan Review:**Open Violations: ☐ No

Variance, Special Exception, Rezoning:

All applicable conditions, commitments, etc. met:

☐ Yes ☐ NA

If in plat, all setback requirements, easements, and miscellaneous requirements met:

☐ Yes ☐ NAIf **not** in plat, lot dimension requirements met or original lot of record:☐ Yes ☐ NASetback & Height requirements met: ☐ Yes

Site Plan Approved: \_\_\_\_\_ By: \_\_\_\_\_

**Primary Residential Structure**LUV approved: ☐ YesAccessory Apartment: ☐ No**Accessory Structure**Living quarters: ☐ No*Agricultural Zone or for Agricultural Use*Under 50 ft. in height in A-1 **or** less than 35 ft inheight residential zone: ☐ Yes*Residential Zone and for Residential Use*Less than height of house: ☐ Yes

Proposed Structure + Existing Accessory Structures

less than 50% sq.ft. of house: ☐ Yes**Addition/ Interior Remodel or Repair (primary structure)**Living quarters: ☐ No**Pool** - Automatic Cover **or** 4 foot fence: ☐ Yes**Building Plan Review:**

Square Footage Calculation: \_\_\_\_\_ 1<sup>st</sup> Floor  
+ \_\_\_\_\_ 2<sup>nd</sup> Floor  
+ \_\_\_\_\_ Basement  
+ \_\_\_\_\_ Bonus Room  
+ \_\_\_\_\_ Porch  
+ \_\_\_\_\_ Garage  
= \_\_\_\_\_ **Total**  
x.10/square foot  
= \_\_\_\_\_ **Total**

Building Plans Approved: \_\_\_\_\_

Building Plans Denied: \_\_\_\_\_

By: \_\_\_\_\_

Johnson County Department of Planning & Zoning  
Sub-Contractor Sign-Off Sheet

To all concerned: the submission of drawings for plan review are to consist of:

**Structural:** Foundation drawings; floor plans w/ dimensions and room names; wall section; roof framing detail or stamped truss drawings. (These plans are mandatory and may not be omitted)

**Electrical:** Outlet and switch locations, smoke detectors, panel and meter base locations, ceiling fans and lighting fixtures.

**Plumbing:** A basic plumbing schematic of the drain, waste, and venting system.

**HVAC:** A drawing showing the locations of the return and supply air grills and their sizes, plus the location of the HVAC Equipment

Electrical Sub-Contractor: \_\_\_\_\_

Address: \_\_\_\_\_

Contact Number: \_\_\_\_\_

Email: \_\_\_\_\_

☐ Will be performing the work

☐ Will be overseeing the work

Plumbing Sub-Contractor: \_\_\_\_\_

Address: \_\_\_\_\_

Contact Number: \_\_\_\_\_

Email: \_\_\_\_\_

License #: \_\_\_\_\_

☐ Will be performing the work

☐ Will be overseeing the work

HVAC Sub-Contractor: \_\_\_\_\_

Address: \_\_\_\_\_

Contact Number: \_\_\_\_\_

Email: \_\_\_\_\_

☐ Will be performing the work

☐ Will be overseeing the work

Project Address: \_\_\_\_\_

Permit Holder: \_\_\_\_\_

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

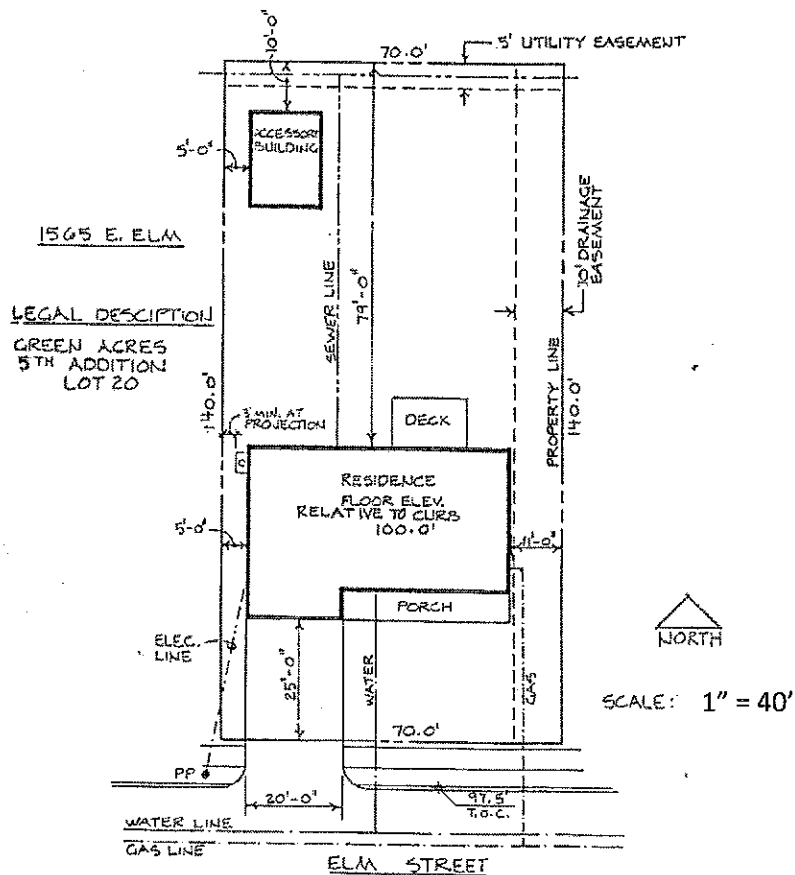
By signing above, I hereby affirm that all work performed shall be applicable to the codes enforce with the State of Indiana and the County of Johnson. I have received this form in lieu of submitting requested drawings or schematics for plan review.

Sub-Contractor Sign-Off Sheet

updated 5-1-19

# SAMPLE SITE PLAN

JOHNSON COUNTY DEPARTMENT OF PLANNING AND ZONING

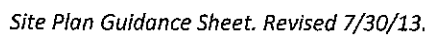


(see reverse side for full-size site plan)

## NOTES

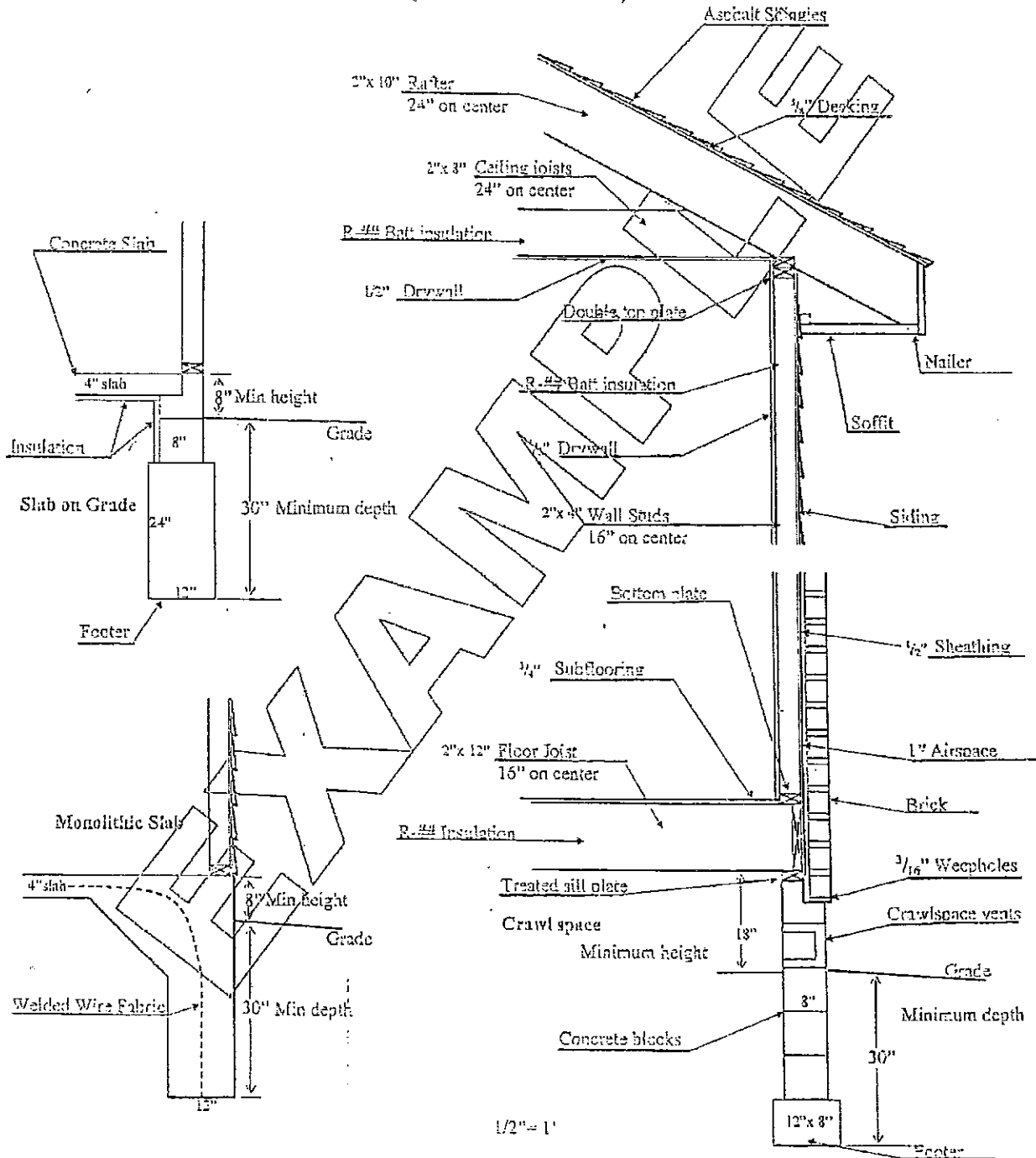
- Include all site structures, existing and proposed. NOTE: Approved variances and special exceptions are usually granted subject to substantial compliance with a final site plan. So, be aware that you will be "locked into" your submitted site plan with regard to future site use and development.
- Label important dimensions. For example, if you're requesting a variance for the side setback of a shed, label that setback
- Show curb cuts, access drives, parking areas, easements, sidewalks, adjoining rights-of-way and any other important features
- Include a North arrow
- Must be drawn to scale... usually 1"=10', 1"=20', 1"=30', 1"=40', 1"=50' or 1"=60'
- Site plans are always required for all variance and special exception petitions, but are not generally required for rezoning petitions.

GREEN ACRES  
5TH ADDITION  
LOT 20





## Example Wall Section (Not For Construction)

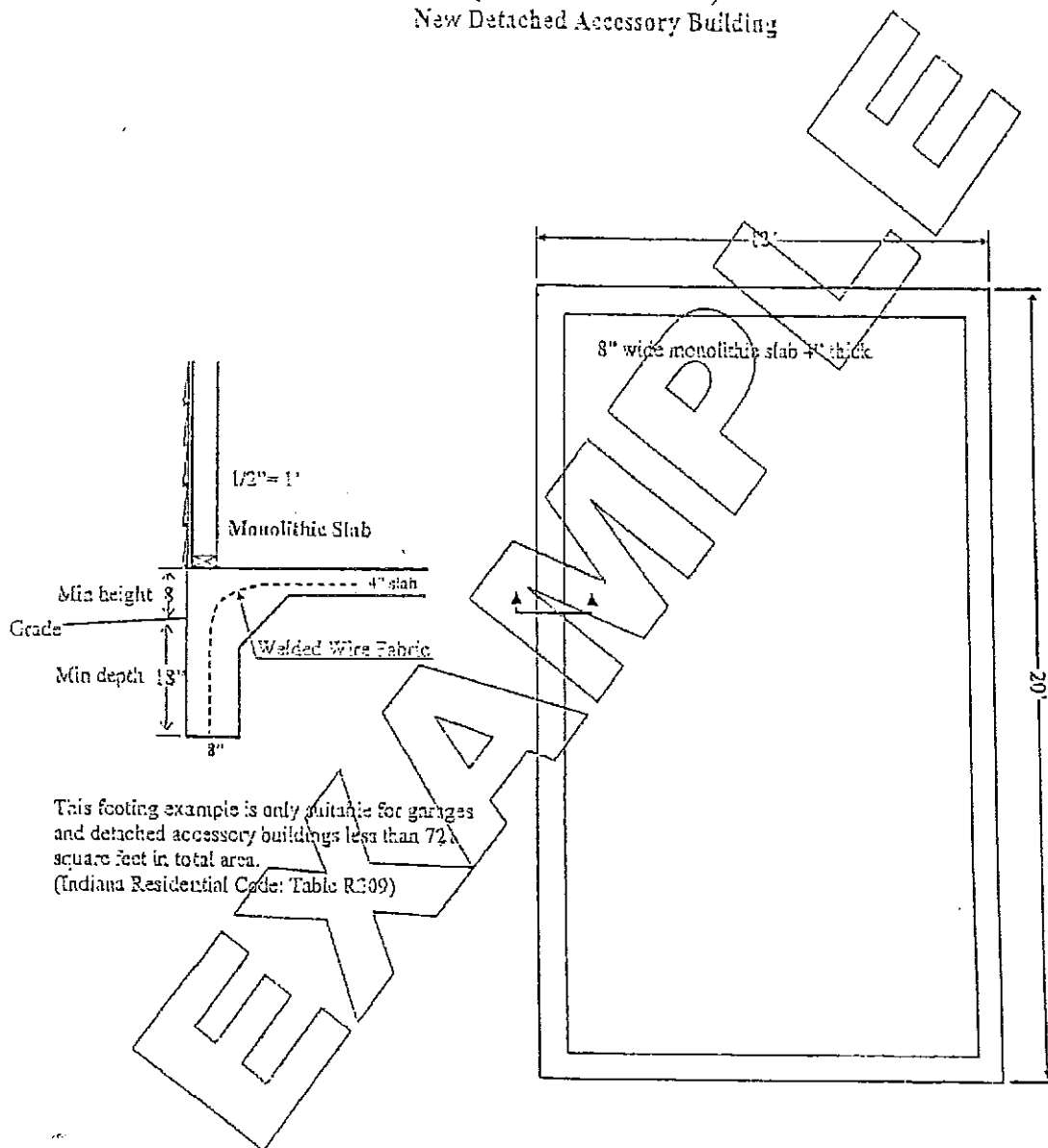


These example plans are only a guide to the plans you will need in order to obtain residential building permits. The sizes and materials here may or may not be adequate for your specific application.

Rev 7/2009

Remember to fill out the completion card at the end of your project. All plans, detail sheets & a copy of the permit are required to be on the job site at all times. (Truss specs, TJI, LVL & pre-manufactured fireplace details)

# Example Foundation Plan (Not For Construction) New Detached Accessory Building

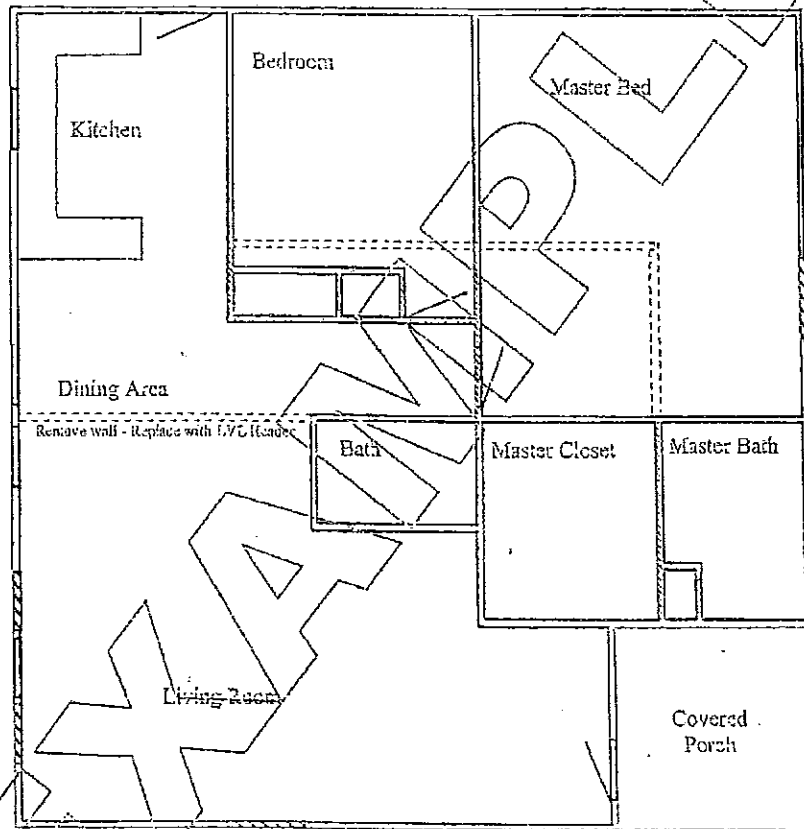


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**Example**  
**1st Floor Plan**  
 (Not For Construction)  
 Residential Interior Remodel

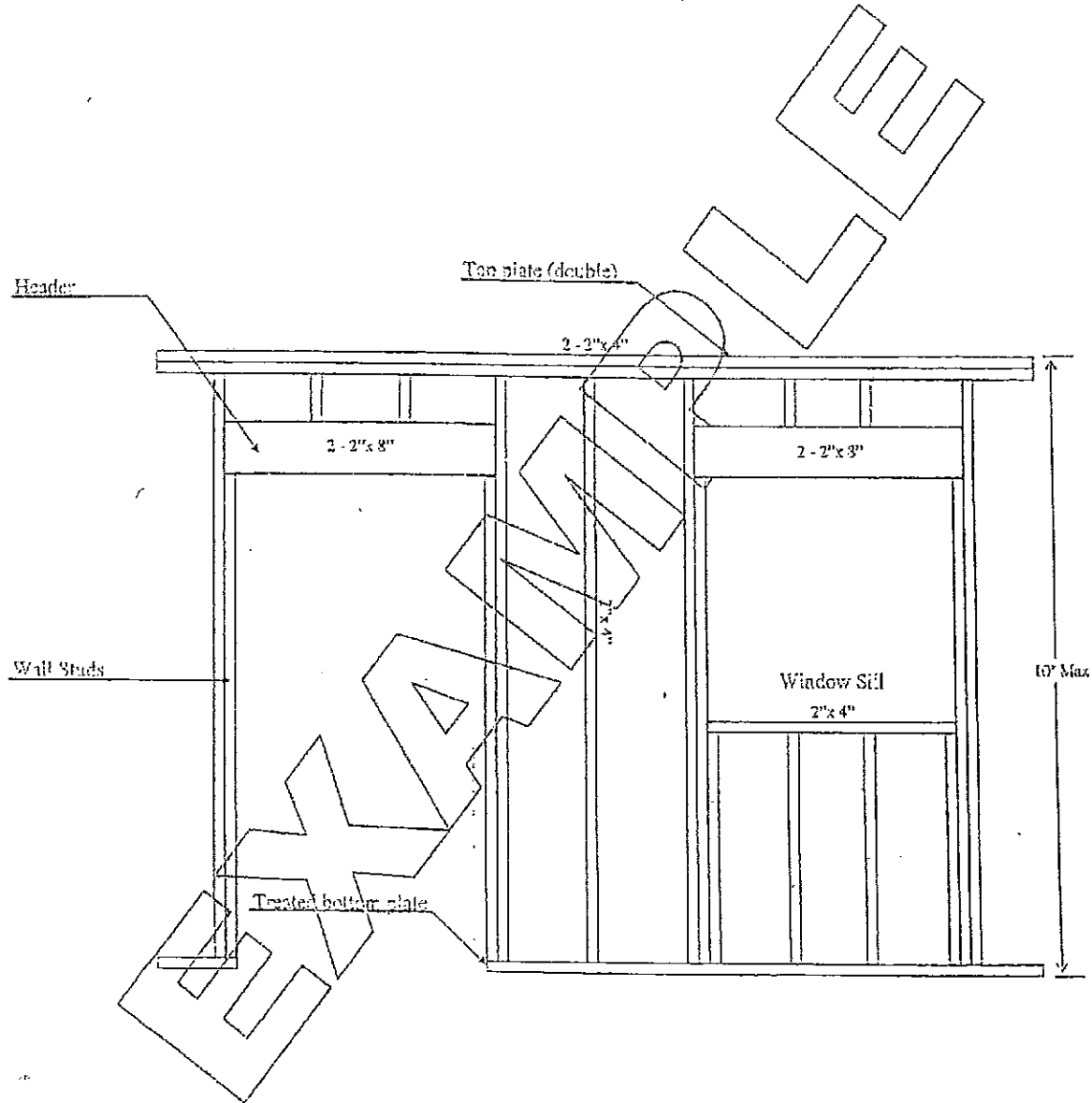


----- Non-bearing walls to be removed  
 - - - - - New windows  
 ===== New walls

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 Rev 7/2009

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# Example Window & Door Framing Detail (Not For Construction)



1/2" = 1'

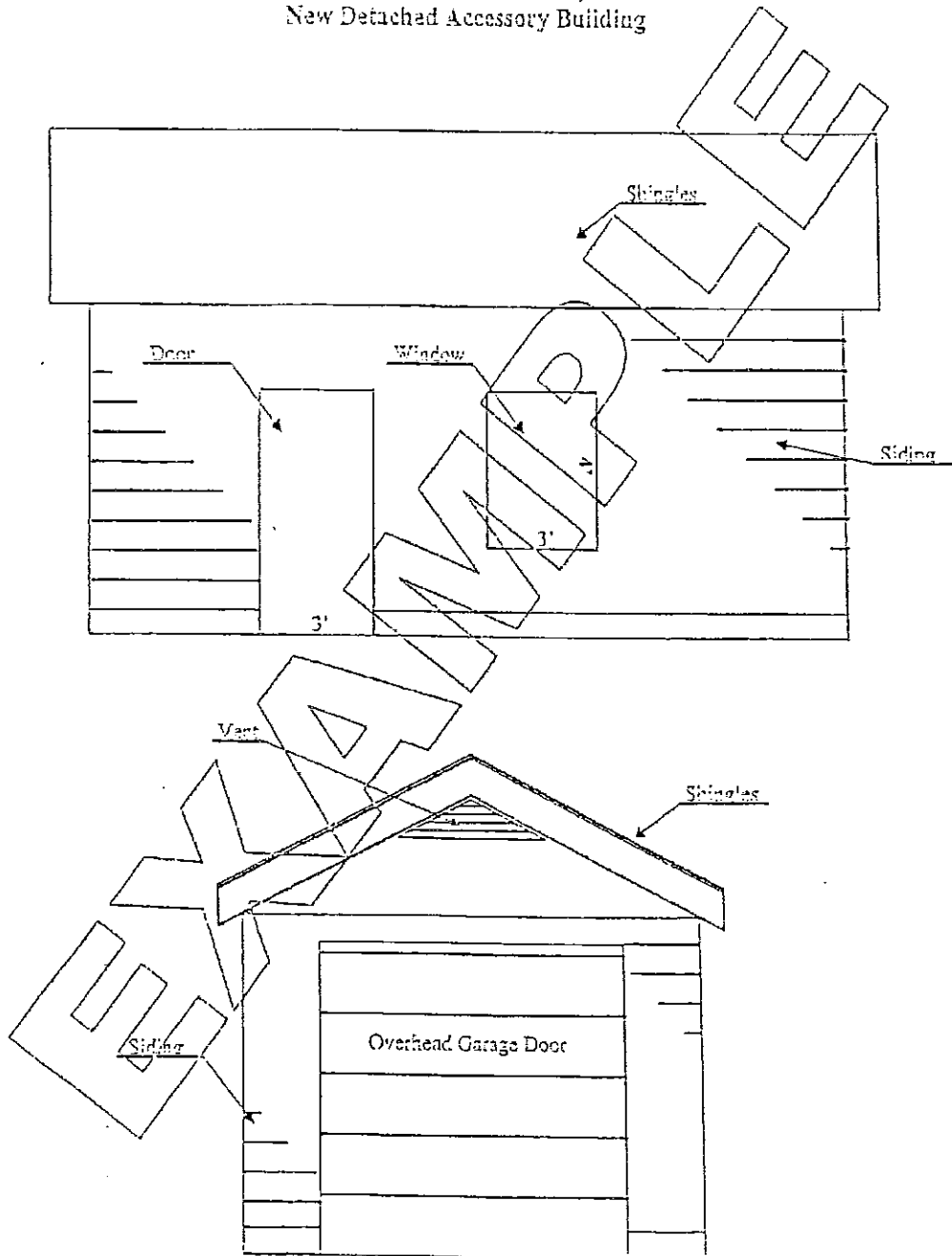
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Rev 7/2009

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# Example Elevations

(Not For Construction)  
New Detached Accessory Building



1/4" = 1'

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Rev 7/2009

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### Truss Diagram (Not For Construction)

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Rev 7/2009

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## Common Mistakes / Insufficiencies

- Using incorrect building standards - Indiana Residential Code  
(2003 International Residential Code with the 2005 Indiana Amendments)
- Smoke detectors not being placed correctly (R313)
- Incorrect crawlspace venting (R408.1)  
Regulation published in Indiana Register October 2007
- Insufficient emergency escapes (310)
  - Windows for sleeping rooms (R310.1)
  - Window wells (R310.2)
    - Ladders & steps (R310.2.1)
- Incorrect garage door headers (R602.10.5(2))
- Not having engineered Truss diagrams available (R106.1)
- Not providing the design specifications for TJI's or LVL's  
(Truss Joists & Laminated Veneer Lumber members)
- Stairs not being built to correct standards (R311.5)
- Rafters/joists insufficient for spans  
(rafters R302.5, ceiling joists R302.4, floor joists R502.3)
- Headers insufficient for span (R502.5)
- Not having plans on site available for review
- Proposed plans not drawn to scale
- Not filling out the Certificate of Completion & Compliance and returning upon completion of the project.

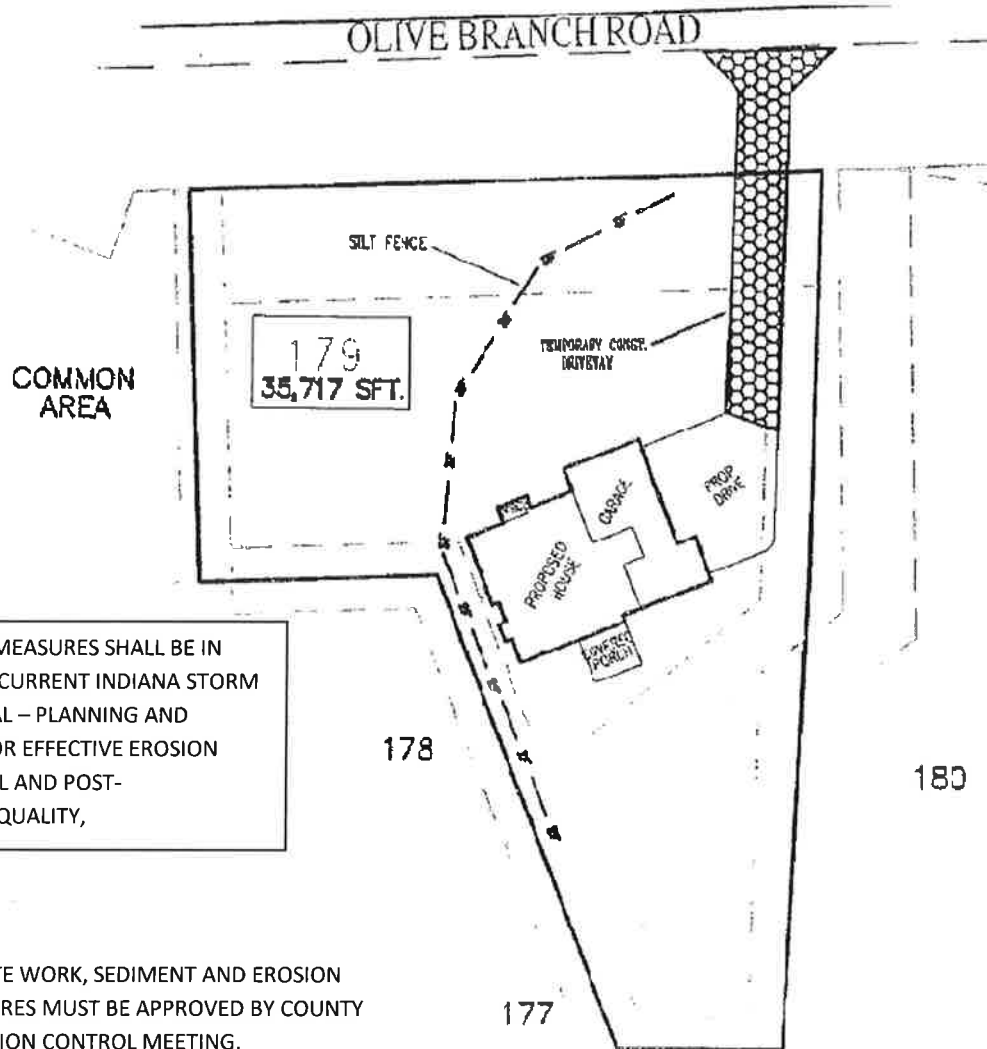
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# SWPPP Example



ALL EROSION CONTROL MEASURES SHALL BE IN COMPLIANCE WITH THE CURRENT INDIANA STORM WATER QUALITY MANUAL – PLANNING AND SPECIFICATION GUIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL AND POST-CONSTRUCTION WATER QUALITY,

## NOTES:

- PRIOR TO ANY SITE WORK, SEDIMENT AND EROSION CONTROL MEASURES MUST BE APPROVED BY COUNTY DURING AN EROSION CONTROL MEETING.
- CONCRETE WASHOUT BASIN MUST BE INSTALLED ON-SITE IF ONE IS NOT ALREADY AVAILABLE.

- On a separate site plan, please draw in where you believe silt fence might be needed. **Also** include erosion notes above (including the ones in the box above the notes). We will need 2 copies of this SWPPP
- **What is a SWPPP?** It is a Storm Water Pollution Prevention Plan. With any large ground disturbance and/or the use of concrete a SWPPP is required. This allows our office to enforce the need for silt fence and a concrete washout.
- **What is a concrete washout?** A washout is a place where all the grey water is collected when the guys washout their cement trucks. No grey water is to be discharged on the ground. After the water hardens and solidifies it is no longer harmful, you may then get rid of it.
- So I have turned in my SWPPP, now what? **AFTER the building permit is issued, but BEFORE ANY site work, you MUST contact our office and schedule an Erosion Control Meeting with our Subdivision Inspector.** A representative will then come out to your site, bring a copy of your SWPPP and discuss the silt fence and concrete washout. Failure to schedule an Erosion Control Meeting before any site work may result in the issuance of a Stop Work Order and a minimum \$500 fine.  
**Please do not go ahead and put up any silt fence prior to the meeting.** This is because Johnson County requires a certain type of silt fence, and also you might not need as much as you have drawn into your SWPPP.





**Planning & Zoning**  
**86 W. Court St.**  
**Franklin, IN 46131**  
**(317)346-4350**  
**Planning@co.johnson.in.us**

## **Energy Code Compliance**

Chapter 11 of the Indiana Residential Code

### **Required:**

1. New Structures that are heated and cooled. This will include any accessory structure or barn that has finished space.
2. Basement Remodels (finishing unfished basements)
3. Remodels that involve existing or new exterior walls (excluding window replacement permits)

Two ways to meet the requirements are Performance or Prescriptive

### **Performance**

- 1) N1105.4.2 At time of application for a building permit a compliance report from an approved software shall be submitted for approval.
- 2) N1103.3.3 A written report with the result of the Mandatory duct leakage test signed by party conducting the testing provided prior to issuance of the Certificate of Occupancy. Needs to be completed after the insulation is installed, report provided to the Building Inspection before the Final Inspection
- 3) N1101.14 Posting of a completed Energy Efficiency Certificate.

### **Prescriptive**

- 1) Completion of an Energy Compliance checklist.
- 2) N1102.4.1.2 Submitted written results of an inspection by an approved third party.
- 3) N1103.3.3 A written report with the result of the Mandatory duct leakage test signed by party conducting the testing provided prior to issuance of the Certificate of Occupancy.
- 4) N1101.14 Posting of a completed Energy Efficiency Certificate.

1-3 should be completed after the insulation is installed, report provided to the Building Inspection prior to the Final Inspection.

### **Resources**

RESCHECK Software

<https://www.energycodes.gov/rescheck>

Third party inspection based on internet searches:

<https://tsienergysolutions.com/residential-inspections/>

<https://www.icenergyservices.com/>

<https://www.bremenenergyauditors.com/>

<https://energydiagnosticsinc.com/>

<https://www.greenworksenergy.com/>

Additional resources

<https://www.angi.com> <https://www.resnet.us/raters/hers-raters/become-rater/>

<https://www.mwalliance.org/initiatives/policy/indiana/indiana-building-energy-codes>